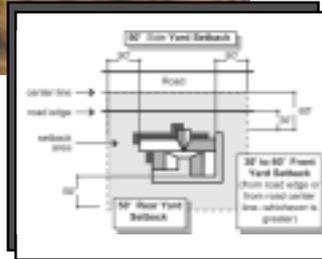
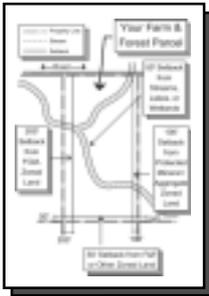


Linn County Forestland Development Standards Handbook



**A Guide for Development in the
Farm/Forest (F/F) and Forest
Conservation & Management (FCM)
Zones**

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What is the purpose of this publication?

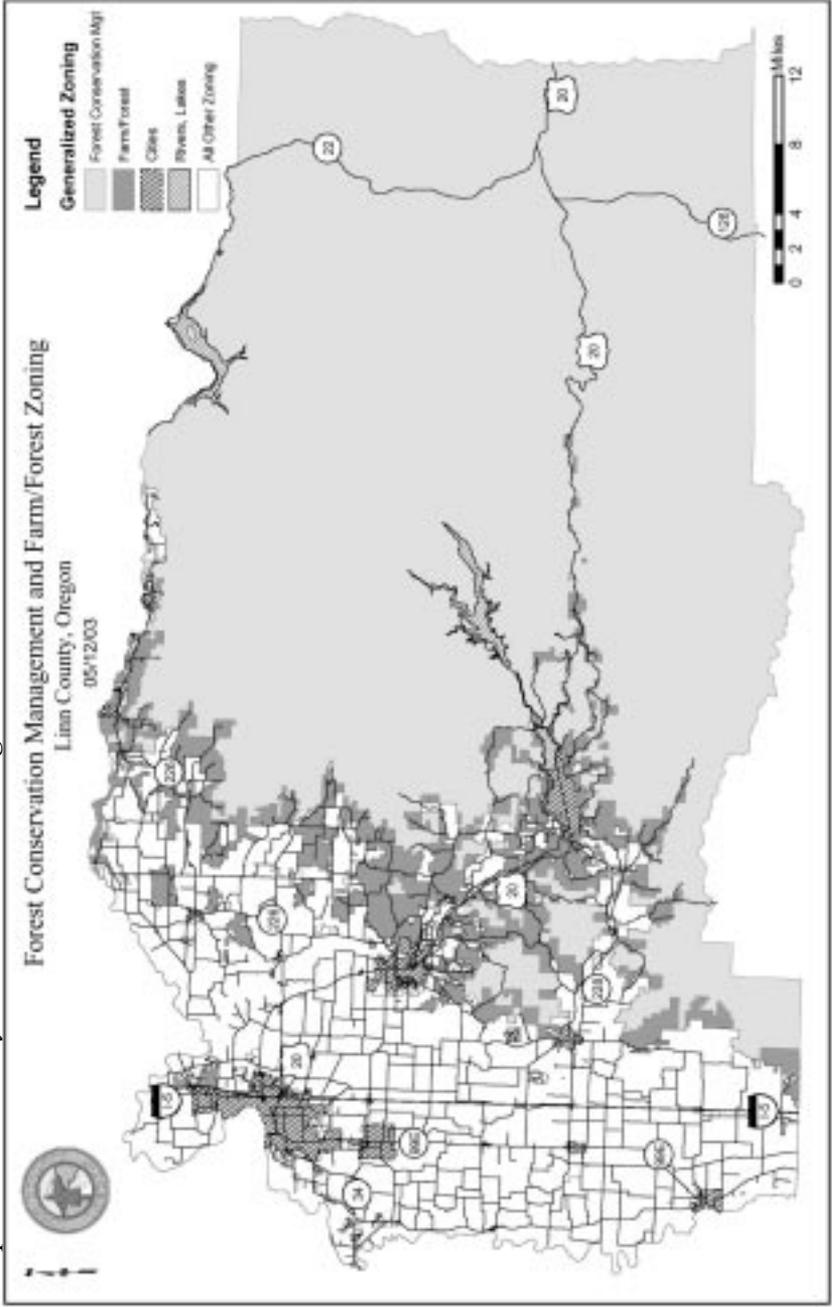
The siting of new buildings and the expansion of existing buildings and homes is subject to various property development standards in the Linn County Land Development Code (LCC). The purpose of this handbook is to explain and illustrate how to meet development standards for property located in forested areas of Linn County. **The handbook is intended to provide Linn County property owners, residents and development professionals with a clear and concise description of the LCC standards related to building in forested areas.** Specifically, the handbook describes the forestland structural siting standards contained in the Land Development Code including property line setbacks, building material requirements, road and access design, firebreaks and water supply standards.

Who Should Use this Handbook?

This handbook describes the forestland development standards and illustrates how they can be met. The handbook should be used by:

1. Current property owners and residents wanting to make improvements to their Farm/Forest (F/F) or Forest Conservation & Management (FCM) zoned properties.
2. New or prospective property owners and residents interested in learning about F/F and FCM zone development standards and regulations.
3. Realtors, lenders, insurance brokers, and other property specialists to assist their clients.
4. Members of the planning, design and construction professions.

Map 1 - Linn County F/F and FCM Zoning



Why should I use this handbook?

The development process can be confusing and complicated. While the purpose of land use and building regulations is to serve the public interest by protecting our health, safety and welfare, sorting through the detailed provisions of the development code can be a daunting task for anyone. This handbook explains and provides examples of the standards in LCC sections 934.590 and 935.200 that will apply to the development of a forest parcel. Specifically, the handbook describes and illustrates property line setback distances, firebreaks, water supply requirements, building material standards and road design standards. This handbook also shows ways to help protect your property against wildfire. Using fire resistant building materials, providing firebreaks and planting the right type of shrubs and trees will reduce the risk of loss from wildfire.

Is everything I need to know in this publication?

This publication will get you started and will help you plan your project. To review the development standards in more detail, access the county web site or visit the Linn County planning office. The forestland publication is a summary of development requirements and does not replace the adopted standards of the LCC. If you have questions or need additional information, contact the planning and building department for assistance. Land use approval is needed before permits can be issued. Talking with county staff early in the planning process can save you time and expense later on.

Where can I go for more information?

Linn County Planning & Building Department staff can help you plan and successfully develop your property. It is recommended that you discuss your plans with a county land use planner before buying property or investing in building plans or materials. Planning staff is available Monday through Friday from 8:30 am to 5:00 pm (the office is closed from 12:00 pm to 1:00 pm). Staff can explain zoning rules that apply to new development or the replacement of an existing dwelling. The Land Development Code, land use applications and staff telephone numbers are all available on the Linn County Web site.

Linn County Planning and Building Department
Linn County Courthouse, Room 114
300 SW Fourth Ave.
PO Box 100
Albany, OR 97321
Phone (541) 967-3816
Toll Free (800) 319-3816
Fax (541) 926-2060
Web Site: www.co.linn.or.us

Map 2 - Downtown Albany



Property Development Standards

Lot Size (LCC 934.510)

Figure 1 illustrates the minimum lot (parcel) size standards in the F/F and FCM zones. The minimum property size for new parcels is 80 acres. The minimum lot width and depth is 800 feet.

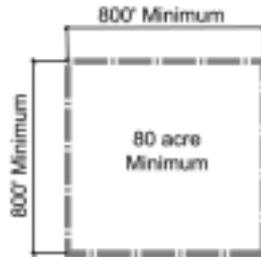


Figure 1 - Minimum Lot Dimensions

Lot Frontage (LCC 934.520)

All new lots or parcels in the F/F and FCM zones shall have access to a public road. If a property has frontage on a public road, that frontage must be at least 30 feet wide. Property without frontage on a public road will have to get access by easement (LCC Chapter 935). An easement review and approval is required before development permits can be issued.

Lot Coverage (LCC 934.525)

Maximum lot coverage in the F/F and FCM zones for the main building and all accessory buildings cannot exceed 20% of the total property area. For example, the maximum lot coverage for a 5 acre lot would be 1 acre ($5 \times .20$).

General Yard Setbacks (LCC 934.530(b))

Table 1 shows the minimum front, side and rear property line setbacks for new buildings in the F/F and FCM zones. Figure 2 illustrates the minimum yard setback requirements for the F/F zone; Figure 3 illustrates the minimum yard setback requirements in the FCM zone. Additional setbacks may be required in order to meet the standards contained in LCC 934.590(B)(1 & 2) (see pages 7 and 8 of this handbook).

Table 1 - Yard Setback Requirements

Zone	Minimum Yard Setback		
	Front*	Side	Rear
F/F	30 or 60	50	50
FCM	30 or 60	100	100

*30 feet from the front lot line, or 60 feet from the center of the road right-of-way, whichever is greater.

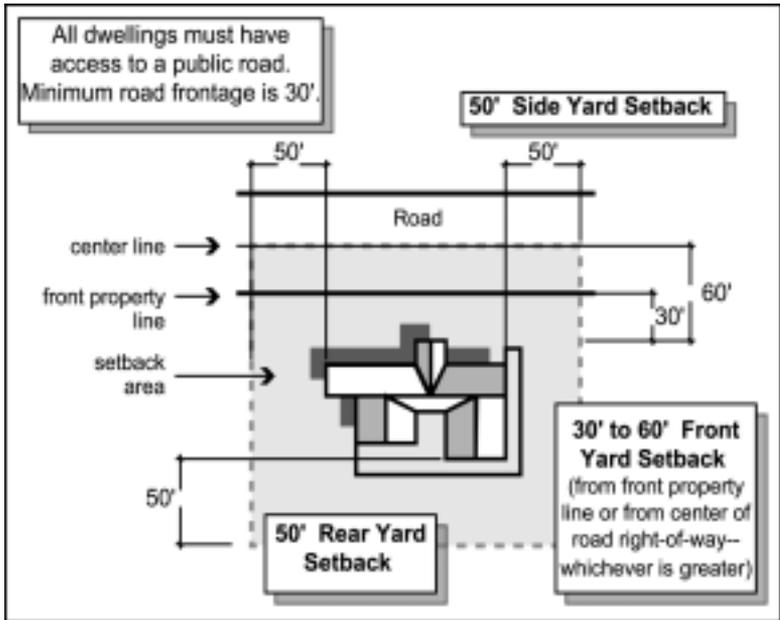


Figure 2 - F/F Structural Setback for front, side, and rear yards (LCC 934.530).

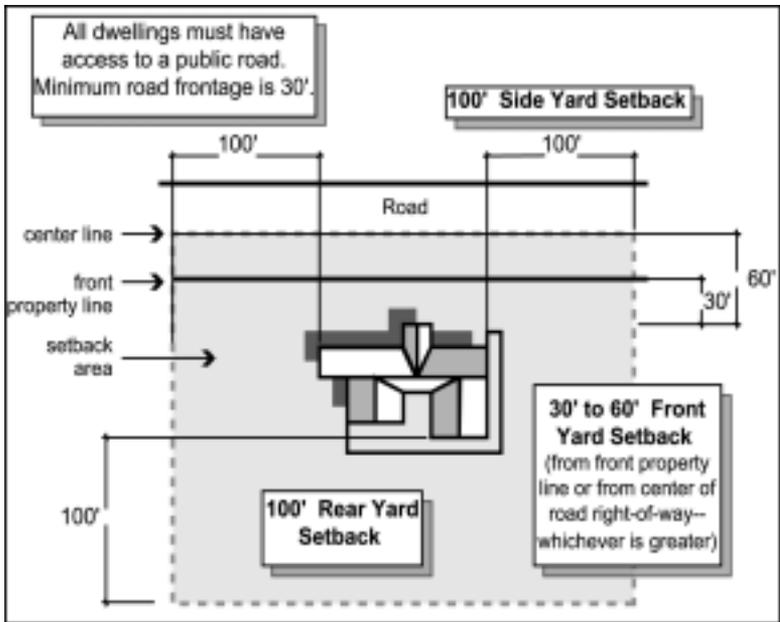


Figure 3 - FCM Structural Setback for front, side, and rear yards (LCC 934.530).

Riparian Habitat Setback (LCC 934.535)

Riparian habitat setbacks are required when developing property that is adjacent to a sensitive riparian habitat, stream, lake, or wetland listed in the *Comprehensive Plan*. LCC Appendix 1, Figure 8 illustrates the profile of the riparian area and how to measure the setback. Structures, roads, or aggregate sites are not allowed within the boundaries of a habitat setback. In the F/F and FCM zoning districts, a 50-foot development setback is required from an identified riparian resource (see Figure 4).

Protected Mineral or Aggregate Site Setback (LCC 934.530(A))

A 100-foot setback from protected mineral and aggregate sites (identified in the *Comprehensive Plan*) is required for all *residential* structures in the F/F and FCM zones (see figure 4). Contact county planning staff if you do not know whether there is a protected mineral and aggregate site near your property.

FCM Zoning District Setback (LCC 934.530(A))

All structures sited within the F/F zoning district are required to maintain a 200-foot setback from any property zoned FCM (see Figure 4). There is a 100-foot side and rear yard setback and generally, a 30-foot front yard setback standard in the FCM zone.

VariANCES

If property line setback, frontage or lot coverage standards cannot be met, a variance can be requested. A variance is a land use application and is described in LCC, Chapter 938. For example, a variance may be approved to permit the placement of a structure within a property line or riparian zone setback.

Tip: To review the development standards in more detail, access the county web site at www.co.linn.or.us, or visit the Linn County Planning Office, located in the Linn County Courthouse, Room 114, 300 SW Fourth Ave, Albany, Oregon.

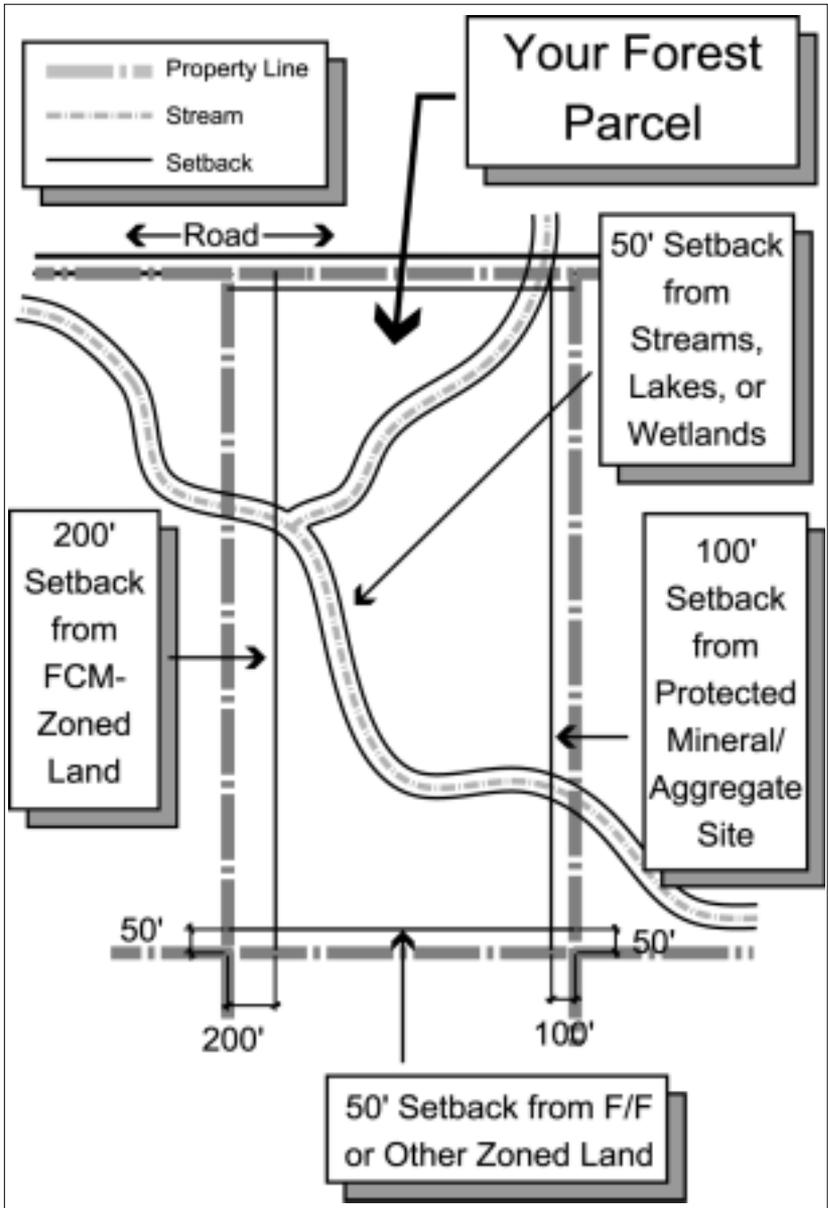


Figure 4 - General Structural Setbacks based on Natural Features and Adjacent Zoning Designations.

Access Standards

General Standards

- In the F/F and FCM zoning districts, access shall be designed to minimize traffic impacts; all accesses (driveways and roads) are subject to review and approval by the County Engineer (LCC 934.570).
- Driveway construction must be completed in accordance with the minimum standards in LCC 935.200(B) before development permits for the primary use of the land will be issued (LCC 935.200).
- Roadside ditches shall be provided as required by the county engineer (LCC 935.200(4)).
- Driveway grades shall not exceed 12 percent (LCC 935.200(6)).
- All driveways shall be marked with the resident's address unless the residence is visible from the roadway and the address is clearly visible from the roadway. Numbers and letters shall be a minimum of three inches in height (LCC 935.200(7)).

Turnout Standards (LCC 935.200(B)(3))

On any access drive that is less than 20 feet wide, a turnout must be provided every 500 feet. Turnouts must be sized to provide passage space at least 20 feet wide and 40 feet long. All turnouts must provide sight lines in both directions. Figures 5 and 6 illustrate these standards.

Note: All turnouts and turnarounds must maintain an unobstructed 13.5-foot vertical and 20-foot horizontal clearance in order to accommodate emergency apparatus.

Dead-end Access Standards (LCC 935.200(B)(5))

All dead-end accessways over 150 feet in length shall provide and maintain a clear turnaround. Turnarounds serving three or fewer dwellings must have a radius of at least 40 feet; turnarounds serving four or more dwellings must have a radius of at least 48 feet.

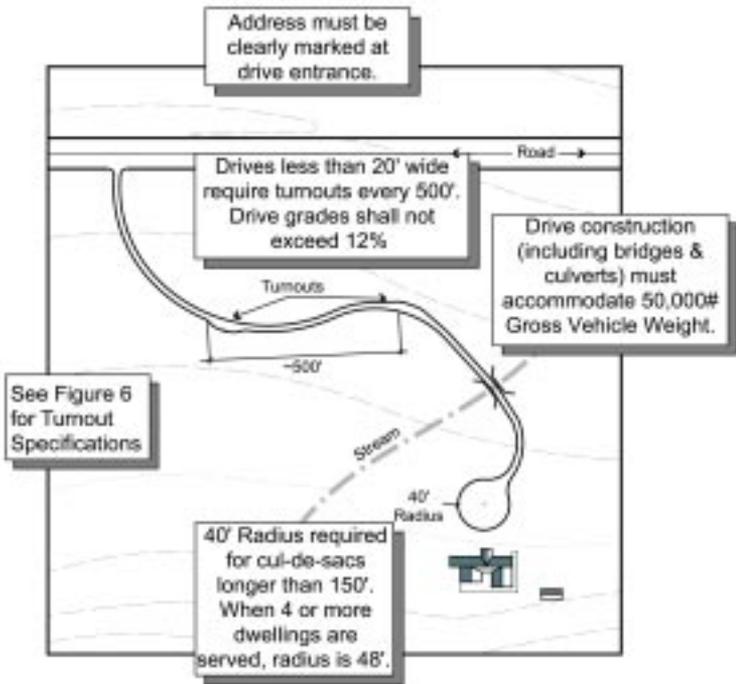


Figure 5 - Minimum construction standards for access (LCC 935.200).

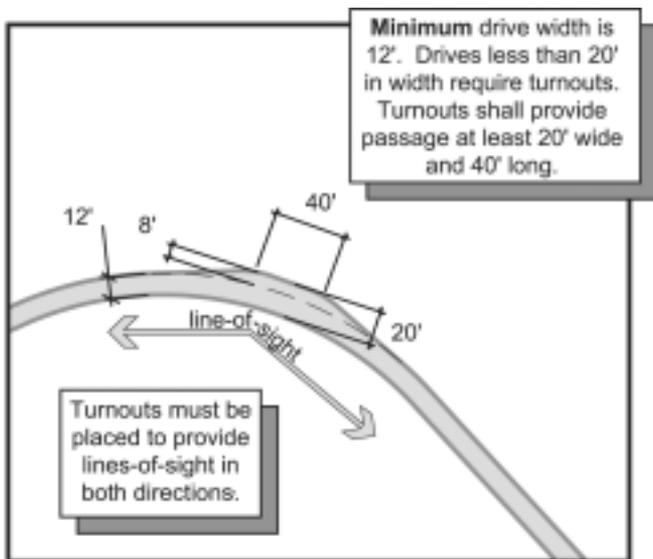


Figure 6 - Minimum construction standards for access: turnout specifications (LCC 935.200).

Fire Access/Fuel Break Standards

Roadbed Standards (LCC 935.200(B)(1))

All required roadways and access drives must be constructed of an all-weather surface capable of supporting 50,000 pounds gross vehicle weight (GVW). Some rural fire protection districts may require a surface capable of supporting 80,000 pounds GVW. The roadway must be at least 12 feet in width and must be constructed of six-inches of crushed rock or gravel. Alternatively, the roadbed may be constructed of six inches of quarry run rock topped with four inches of one-inch minus crushed gravel. Figure 7 illustrates the minimum roadbed standards.

Roadway Clearance Standards (LCC 935.200(B)(2))

All roads and access drives must maintain an unobstructed vertical clearance of 13 feet six inches and a horizontal clearance of 20 feet along their entire length (see Figure 7).

Minimum Fuel Break Standards (LCC 934.590(8))

All dwellings must maintain a 30-foot wide primary fuel break around structures and a 100-foot wide secondary fuel break around the primary fuel break (see Figure 8).

- The primary fuel break should remove fuels that will produce flame lengths in excess of one foot. Trees should be spaced at least 15 feet apart and should be pruned to remove dead and low branches.
- The secondary fuel break should reduce the likelihood of a crown fire. Trees should be adequately spaced and small trees, brush, and dead fuels should be removed.

Note: As slope increases, the primary fuel break should also increase away from the dwelling. Additional information is provided on the following pages.

Definition: A **crown fire** burns in the tops of trees, is usually very hot and destructive, and can move independently of the surface fire.

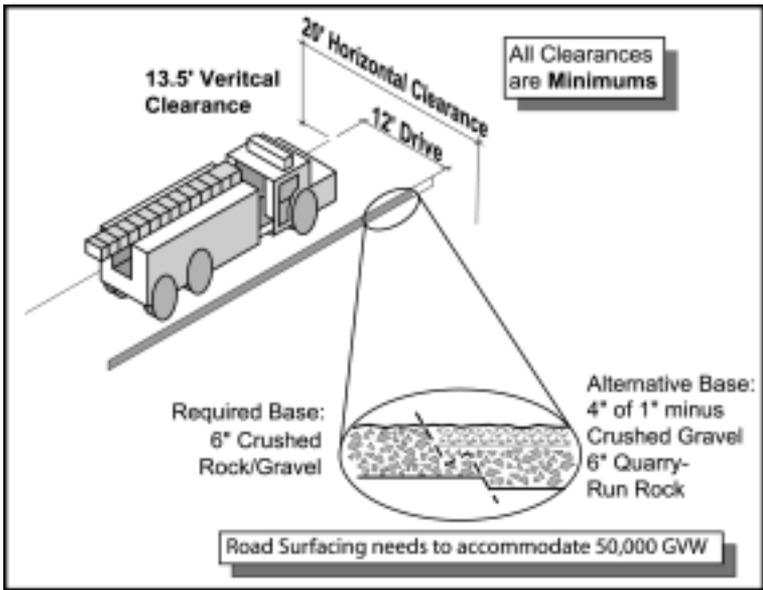


Figure 7 - Minimum construction standards for access: road construction specifications (LCC 935.200).

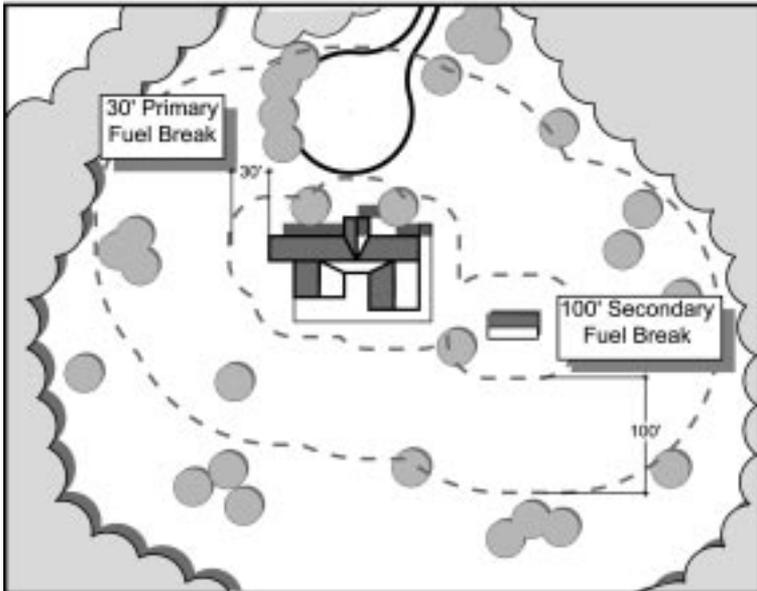


Figure 8 - Primary 30' and secondary 100' fuel-free fire breaks around dwellings in F/F and FCM zoning districts (LCC 934.590).

Additional Required Fire Safety Standards

- All dwellings must have a fire retardant roof (LCC 934.590(9)).
- No dwelling can be sited on a slope greater than 40 percent (LCC 934.590(10)).
- All chimneys in the F/F and FCM zones shall be provided with a spark arrester (LCC 934.590(11)).
- Water must be from an approved source. A well constructor's report shall be provided if the source is an exempt well. If water is from a non-exempt source then a permit or exemption from the Oregon Water Resources Department is required.
- A dwelling shall be located within a fire protection district or shall be provided structural fire protection by contract. If this is not practical, then alternative means for protecting the structure from fire hazards may be provided such as a water storage system, swimming pool, pond, stream or lake subject to standards in LCC 934.590(B)(6).

Recommended Fire Safety Guidelines

Water Supply

In cases where an on site water supply (swimming pool, pond, stream or lake) is required or desired, an all-weather approach to a point within 15 feet of the water body should be provided. In order to facilitate the turning movements of fire apparatus, adequate turnarounds should be provided (see Figure 9 for examples).

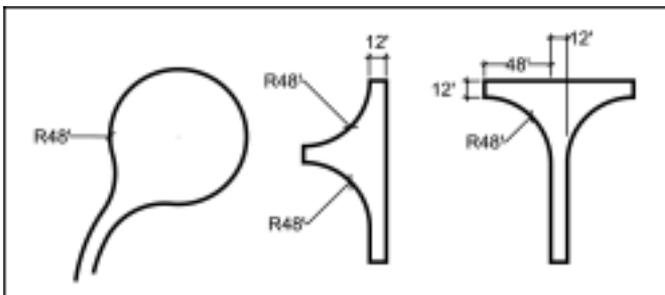


Figure 9 - Acceptable fire apparatus turnaround templates.

Fire Defense Zones

In addition to required fuel breaks, multiple fire defense zones should be maintained around all dwellings in the F/F and FCM zoning districts. Zones near dwellings should be planted with material that is moist and trim (for example, turf or groundcover). Intermediate zones should be planted with material that is relatively low and sparse (shrubs, small trees). Outer zones should maintain an understory that is high and clean (limb trees, remove ground debris).

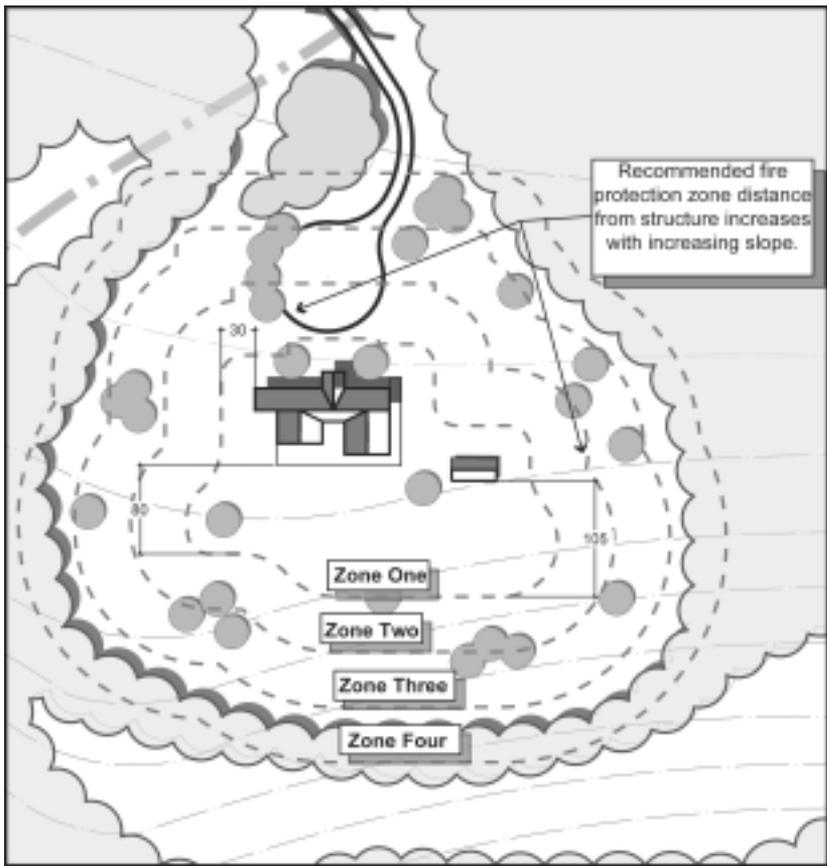


Figure 10 - Fire-wise recommendations for fuel management zones surrounding dwellings (LCC 935.200).

Sloped Parcels

Fire activity and intensity increases with slope steepness. Therefore, additional primary fuel break distance should be provided down slope from all structures constructed on sloped parcels (see Figure 10).

Tip: Creating Fuel breaks does not mean eliminating all landscaping around your home. Non-flammable vegetation (preferably native to your area) can be planted and safely managed within defensible spaces. The following resources contain additional information to assist you in successfully managing your wildfire risk:

Planning For Natural Hazards: Oregon Technical Resource Guide, *Oregon Natural Hazards Workgroup*,
www.oregonshowcase.org

Firewise, *National Wildfire Coordinating Group*,
www.firewise.org.

The I-Zone Series, *University of California Forest Products Lab*,
www.ucfpl.ucop.edu

Around your Home

Fire safety in forest zones will be enhanced when the following recommended guidelines are maintained.

- Trees have been trimmed away from the roof.
- Plants are low growing and less flammable.
- Flammables are stored away from the home.
- Yard is trimmed and free of debris.
- Roof and gutters are clean of leaves and fir needles.
- A 30-foot non-combustible firebreak surrounds the home.
- Good access is provided for emergency vehicles.
- Exterior walls are made of fire resistant material.

Safety and Emergency Preparedness Measures

- Smoke detectors should be positioned on the wall or ceiling just outside of each bedroom. If you have a multi-level home, install a detector on every floor. Be sure to test your detectors monthly and replace batteries at least once a year. (Note: Smoke detectors are required in bedrooms for new homes).
- Place fire extinguishers in the kitchen and garage. Fire extinguishers need to be maintained and must be recharged after every use.
- Store at least a three day supply of drinking water and food that does not require refrigeration and generally does not need cooking.
- Store first aid supplies, portable radio, flashlight, emergency cooking equipment, portable lanterns and batteries.
- Prepare a list of valuables to take with you in case of evacuation.
- Pre-plan an escape route from your home and neighborhood. Designate an emergency meeting place for the reunion of family members escaping in separate vehicles and establish a contact point to communicate with concerned relatives.

Notes:

